

Public Document Pack

South and West Plans Panel

Thursday, 28th September 2023

PowerPoint Presentation

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SOUTH & WEST PLANS PANEL

THURSDAY SEPTEMBER 28TH 2023

Page 3



Agenda Item 10

APPLICATION: 23/03811/FU

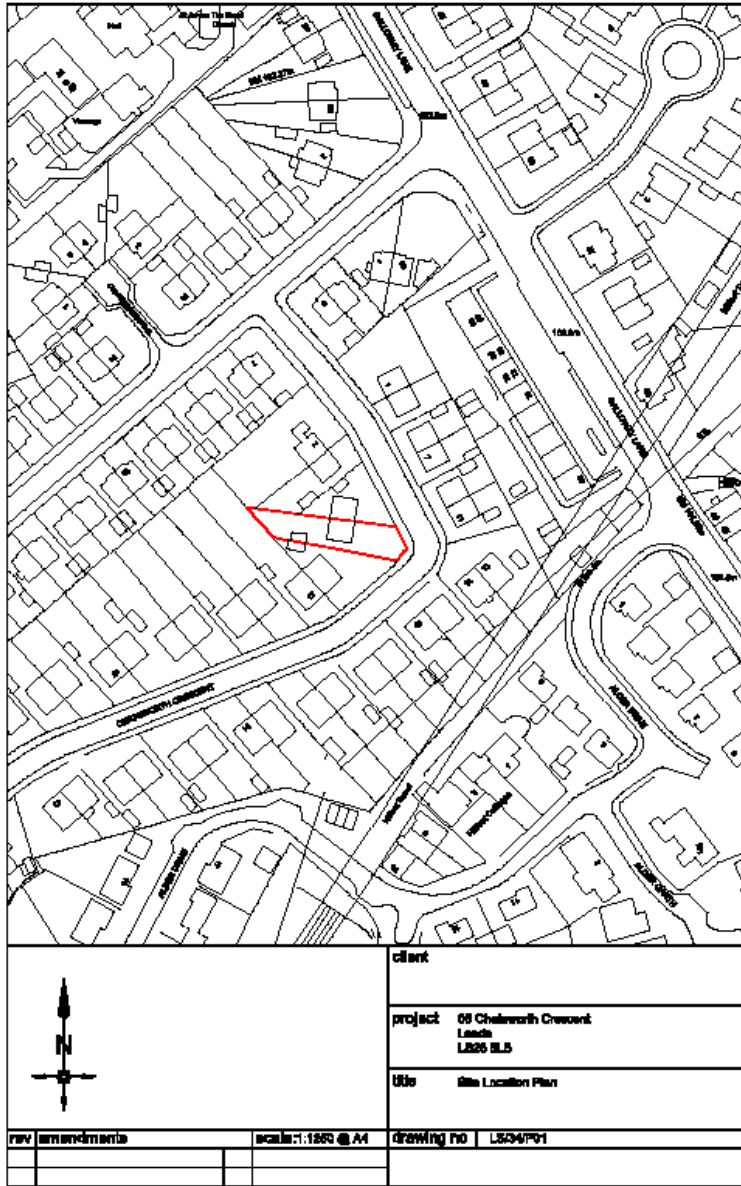
PROPOSAL:

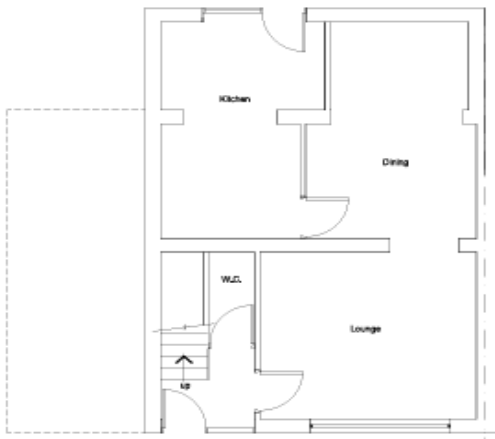
Change of use from Dwelling (C3) to
Childrens Care Home (C2)

ADDRESS:

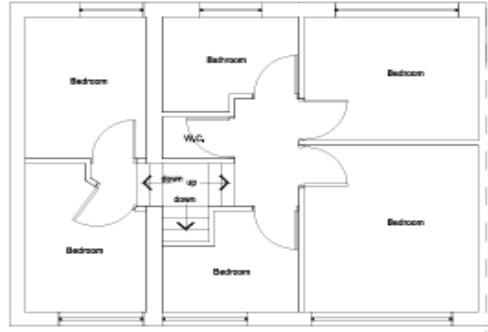
8 Chatsworth Crescent
Pudsey
LS28 8LD







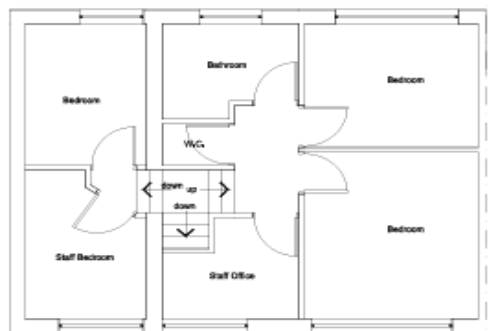
Existing Ground Floor Plan



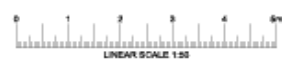
Existing First Floor Plan



Proposed Ground Floor Plan



Proposed First Floor Plan



DATE	16/05/23	SCALE	1:50@ A1
CLIENT			
PROJECT	08 Chatsworth Crescent Leeds LS28 6LB		
TITLE	Existing & Proposed Plans		
DRAWN BY	M N AB		
REVIEWED BY			
DRAWING NUMBER	LS/34/P02		



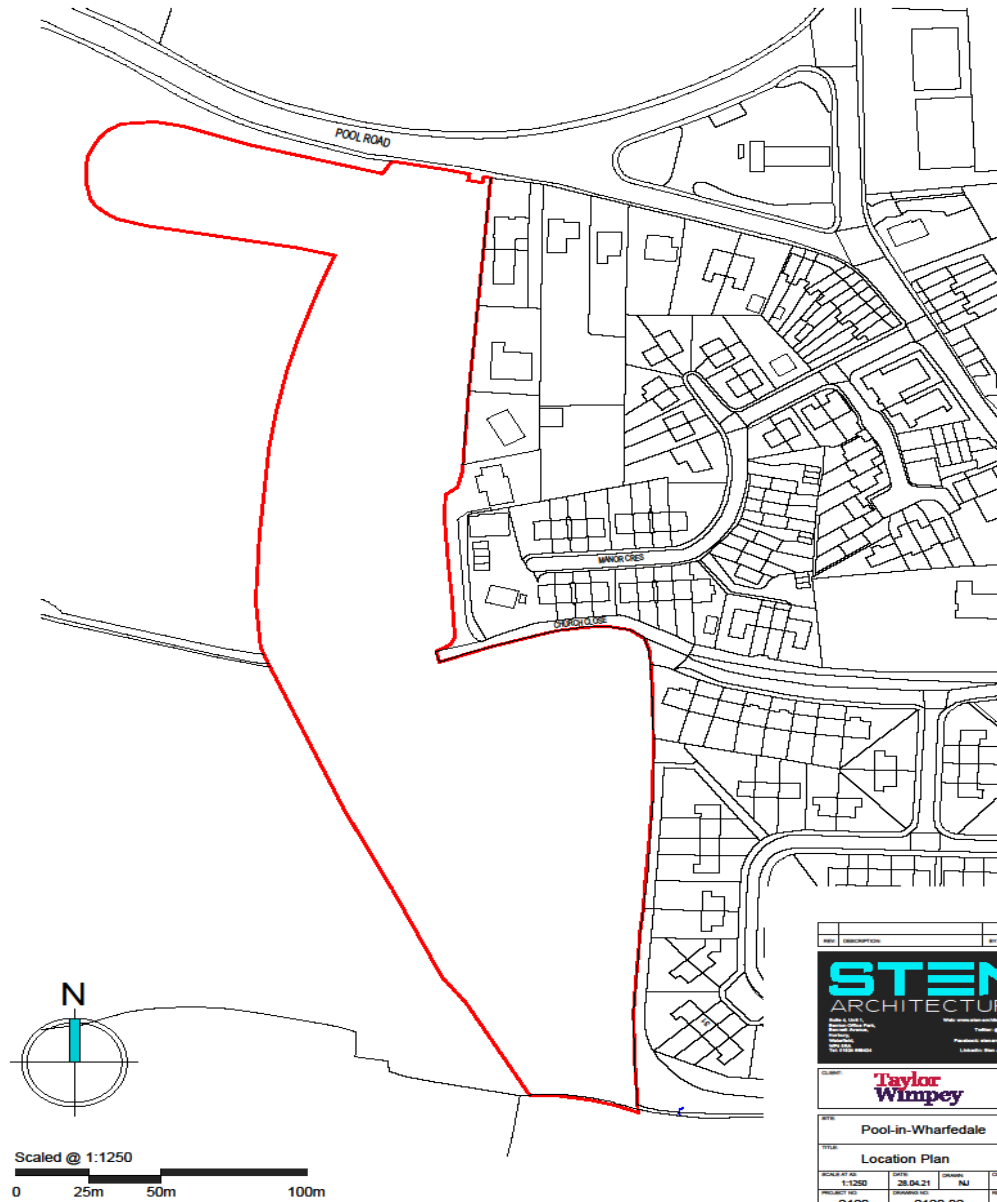


APPLICATION: 21/04988/RM

PROPOSAL: Reserved Matters application for 57 dwellings including provision of 5,771 sqm Public Open Space and associated infrastructure, relating to scale, layout appearance and landscaping pursuant to Outline Application 17/02068/OT.

**ADDRESS: Land South Of Pool Road
Pool In Wharfedale
Otley
LS21**









Character area 4- 20th century housing

With a strong variation in character and appearance, the 20th century housing areas share a distinct suburban appearance that unites them into a single character area.

Key characteristics:

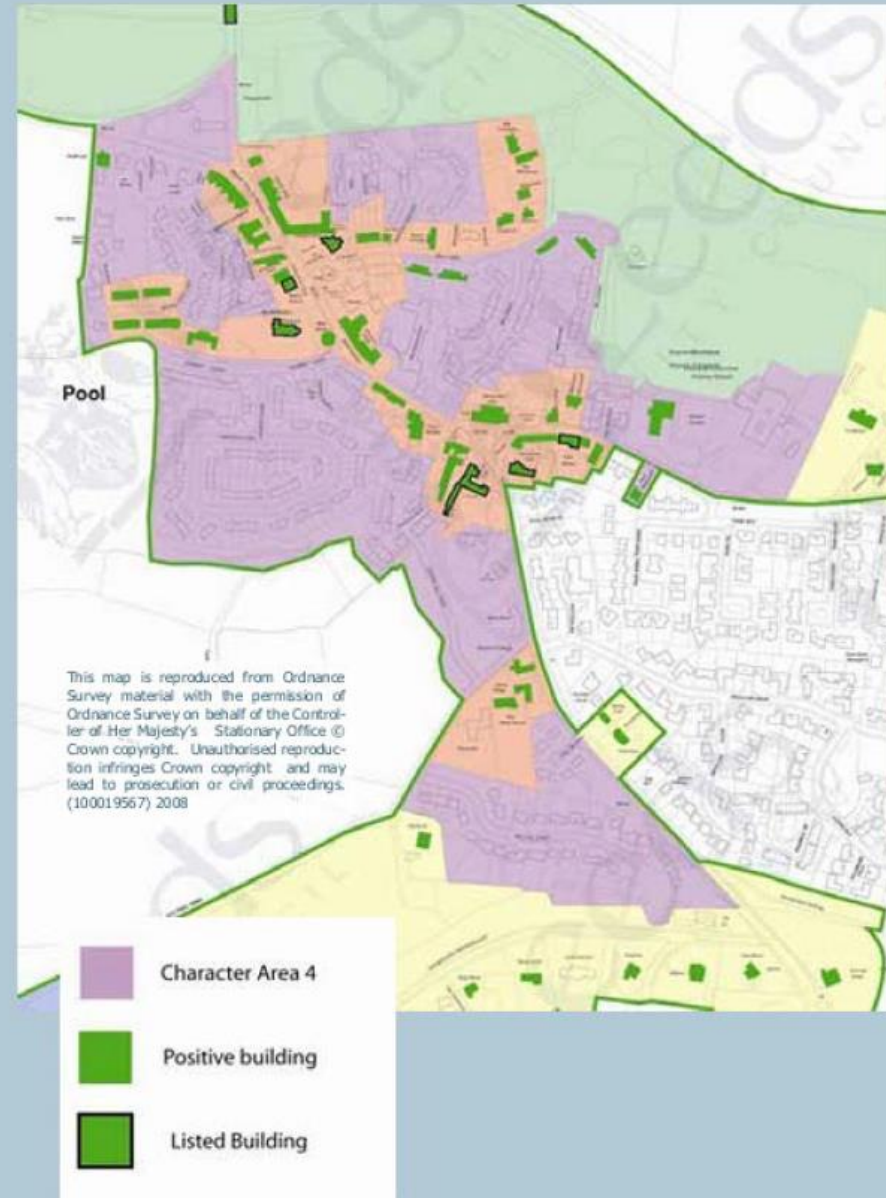
- The most positive feature of this development lies in its discreteness. Many structures use a palette of neutral materials and have little impact on the historic environment.
- The houses are a mixture of terrace, detached and semi-detached properties.
- The two-storey scale and one-bayed layout of the properties are consistent with the historic positive character of the area.
- Negative characteristics are the high density cul-de-sac style developments.
- Traditional timber windows and doors add value to the character area. As to be expected there is a high level of UPVC in the area which has a detrimental impact on the character and appearance of the area.

Key ways to retain character:

- Use of coursed sandstone and slate roofs as predominant walling material for any new developments.
- Retention of historic boundary treatments including walls and mature hedgerows. Any new boundary treatments should also employ sandstone and/or hedgerows and be consistent with the positive boundary treatments already present.
- Retention of slate roofs and chimneys.
- Retention of formal layout of buildings, though all properties built directly onto the street should be orientated to face them.
- Less emphasis on cul-de-sac development.
- Retention of mature trees where present.



The Memorial Hall is a positive building with this character area and has a strong impact on the appearance of the area.















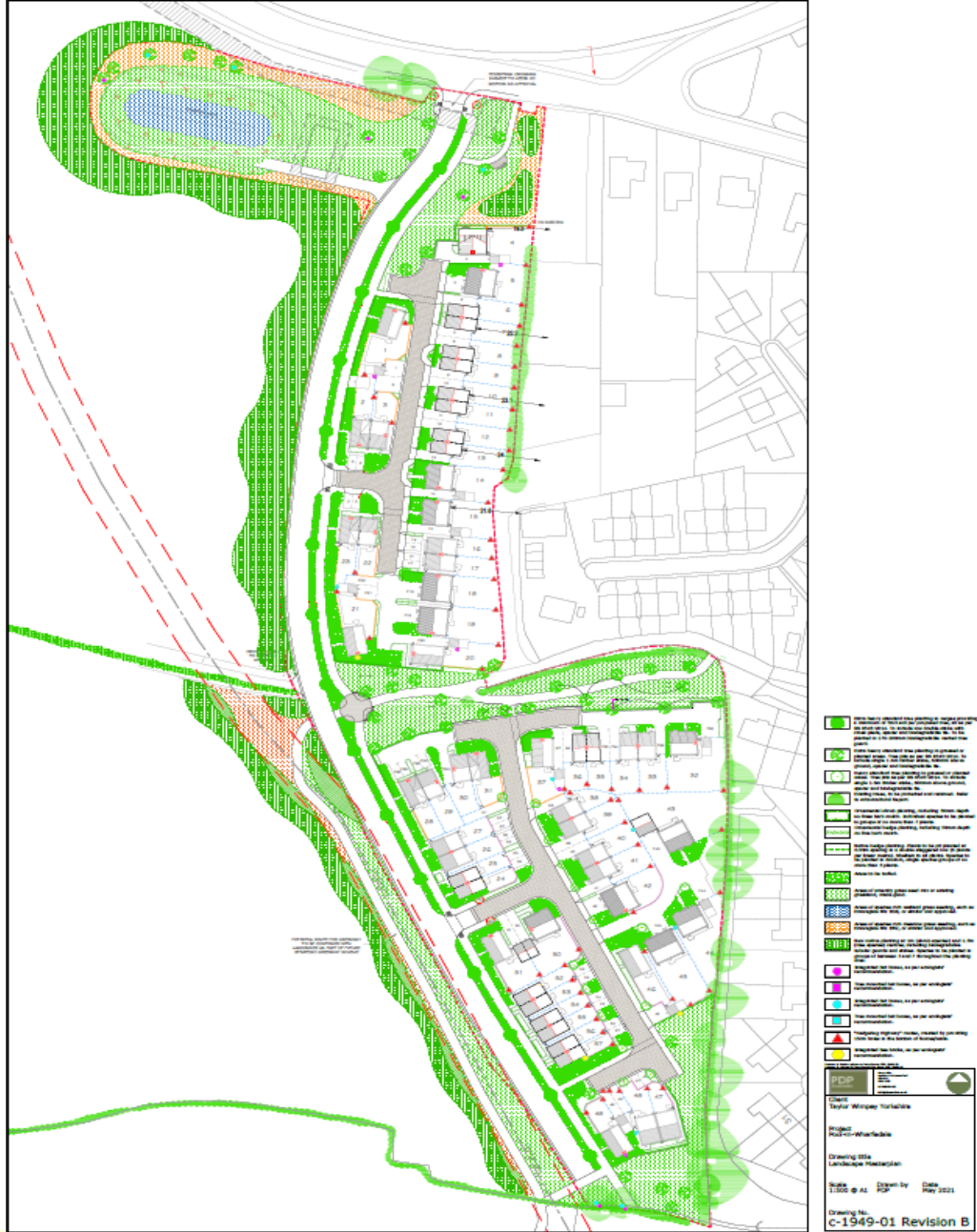


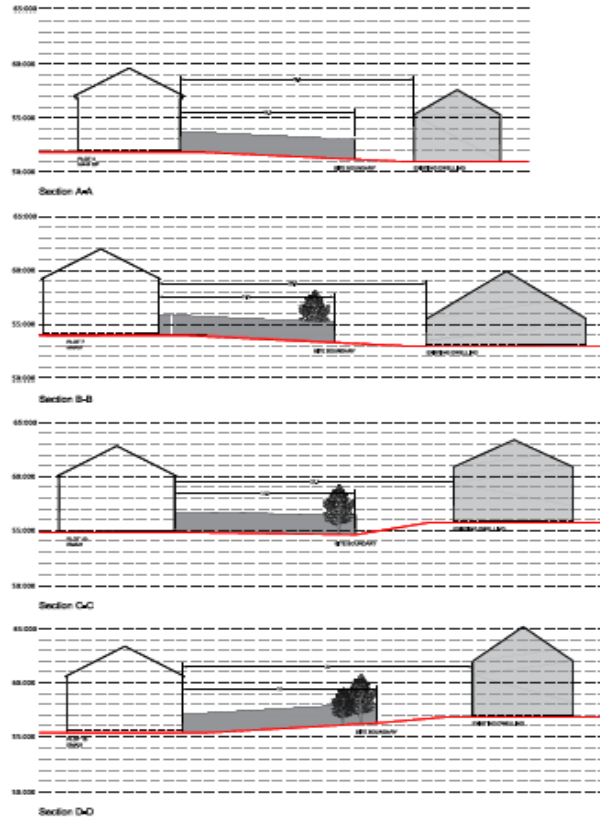




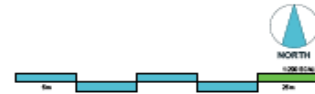








NOTE: ESTIMATED LEVELS BEYOND THE SITE BOUNDARY ARE INFORMED BY SAVERIDGE HEIGHT INFORMATION WITHIN TOPOGRAPHICAL SURVEY.



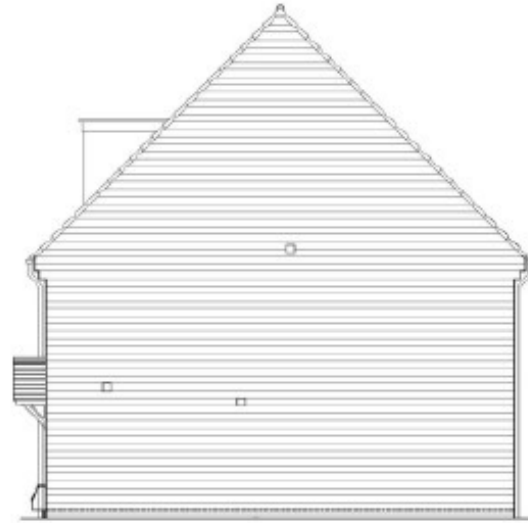
06 / PROPOSED SITE SECTIONS

	
CLIENT:	TAYLOR WIMPEY
PROJECT:	POOL IN WHARFEDALE
DRAWING:	PROPOSED SITE SECTIONS
DRAWING NUMBER: 22 5570 06 B SCALE @ A2: 1:200 DRAWN: JF, JWS CHECKED: JWS DATE: JUN 20	
JRP Associates 15 South Street Castle Park, Wakefield, WF4 3PL	





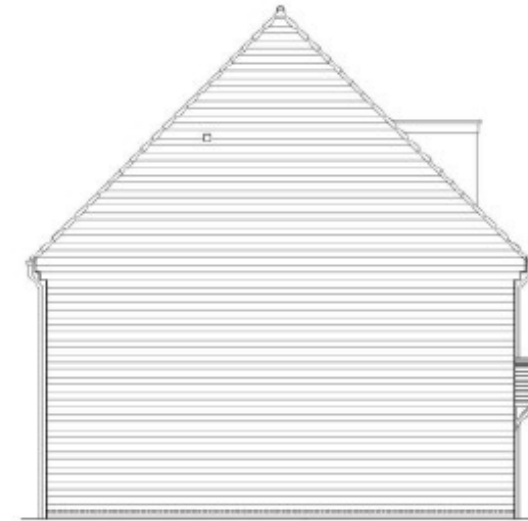
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION



House Type NA44 (Manford) Special

Proposed Floor Plans and Elevations

4 Bedroom Dwelling



FRONT ELEVATION

SIDE ELEVATION

REAR ELEVATION

SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN

House Type NT41 (Trusdale)

Proposed Floor Plans and Elevations

4 Bedroom Dwelling



FRONT ELEVATION

SIDE/REAR ELEVATION

REAR ELEVATION

SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN

House Type NA44 (Manford)
Proposed Floor Plans and Elevations

4 Bedroom Dwelling



House Type EMA21
Proposed Floor Plans and Elevations

2 Bedroom Dwelling



House Type NA32 (Byford)-NT31(Kingdale)

Proposed Floor Plans and Elevations

3 Bedroom Dwellings



House Type ND42 (Kingham)

Proposed Floor Plans and Elevations

3 Bedroom Dwelling



House Type NT41 (Trusdale)
Proposed Floor Plans and Elevations

4 Bedroom Dwelling



House Type EMA21
Proposed Floor Plans and Elevations

2 Bedroom Dwelling



House Type NA32 (Byford)
Proposed Floor Plans and Elevations.

3 Bedroom Dwelling



Plots 26, 27, 38, 39, 40 and 41

House Type NA49 (Janford)
Proposed Floor Plans and Elevations

4 Bedroom Dwelling





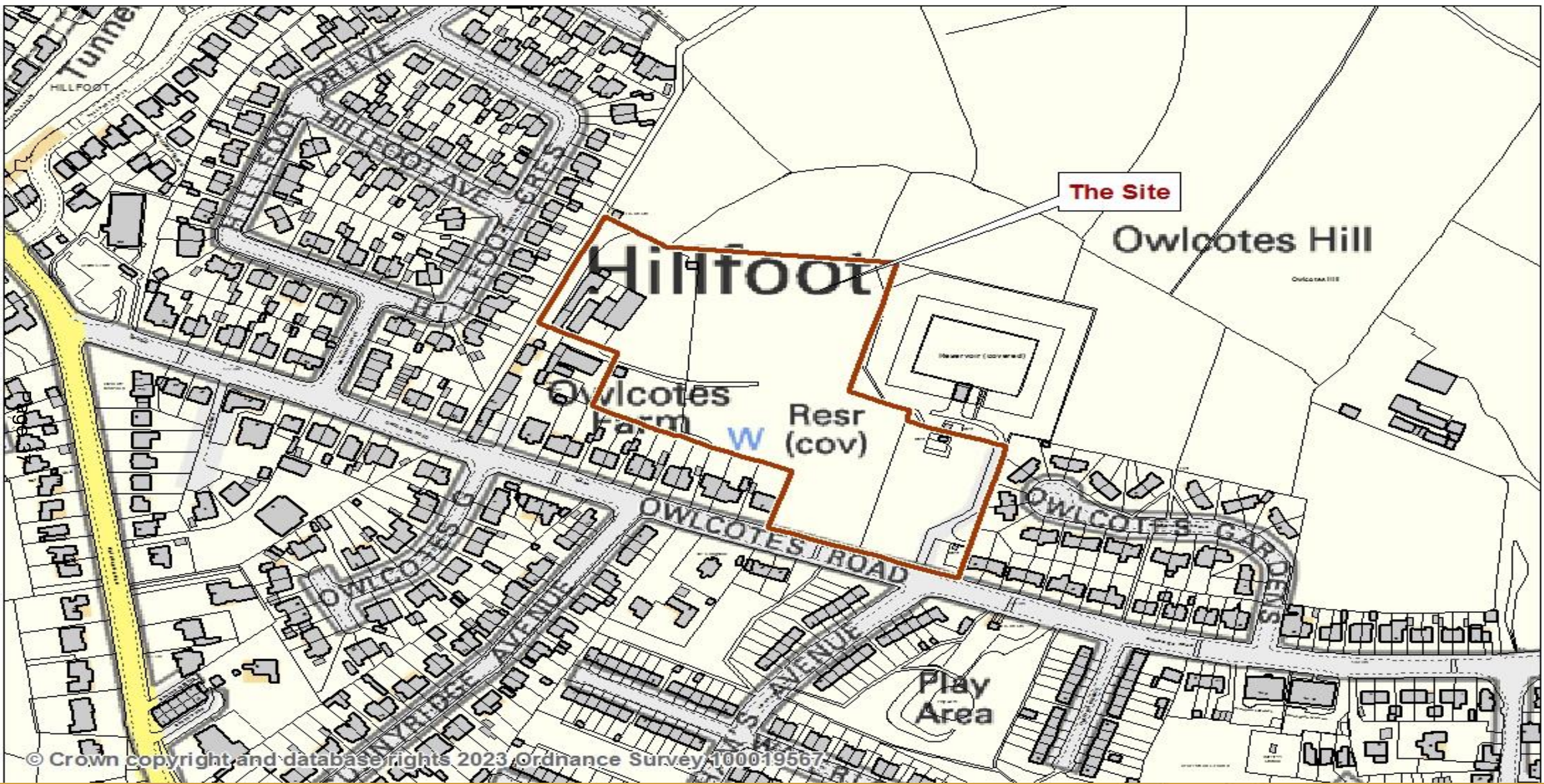
APPLICATION: 22/06335/RM

**PROPOSAL: Reserved matters application
for 50 dwellings and 4 apartments to
outline permission 21/10203/OT**

ADDRESS:

**Land Rear At Owlcotes Road
Pudsey
Leeds**





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Figure 6: View from boundary fence of Parcel B towards western boundary.



Figure 6: Close view of farm buildings with western boundary.



Figure 7: View of telecommunication masts and reservoir north of Parcel B.



Figure 8: View along track from farm buildings towards eastern boundary.





Schedule of Accommodation

Houses	Area	Count	Total Area
1B2P House	@58m ²	-01no.	
2B3P 2 st. house	@70m ²	-25no.	
2B3P Bungalow (CAT 3)	@80m ²	-02no.	
3B4P 2 st. house (CAT 2)	@86m ²	-12no.	
4B6P 2.5 st. house	@120m ²	-10no.	

Walk-Up Apartments	Area	Count	Total Area
1B2P GF	@52m ²	-02no.	
1B2P FF	@62.3m ²	-02no.	

Total			-54no.
Site area	- 02.06 ha	- 5.09 acres	
Developable area	- 01.67 ha	- 4.12 acres	
Total Public Open Space	- 0.223 ha	- 0.55 acres	
Density	- 13.11 units/acre		
	- 32.34 units/ha		

Notes
 Layout dependant upon confirmation of legal site boundary, Statutory Services Information & subject to Highway approval

Drainage strategy subject to detailed design, Phase I & II Geo-technical Survey and Drainage Assessment. Layout assumes gravity led drainage system with no pumping station. Boundary Treatments & Finish floor levels subject to further detailed design.

Layout based on Topographical survey by CT Surveys dwg no 4166JA/1 and by Vision Geomatics drw no KLD_10_SP. Tree position based tree survey by Brooks report ref : AR-4098-01.01. Landscape Design subject to Yorkshire Water approval.

- Key:**
- Line of Highwall (Proven)
 - Line of Highwall (Interpreted)
 - 1.1m high metal railing edge protection
 - 1.5m High Timber Fence
 - 1.8m High Timber Fence
 - 1.8m High Brick Piers w/ 0.6m High Brick Dwarf Wall and Timber Fence
 - 0.45m High Timber Knee-rail
 - Existing Dry Stone Wall
 - - - Proposed Dry Stone Wall
 - - - Indicative line of retainment, heights and design to be confirmed by Engineer.
 - ~ ~ ~ Proposed New Hedge (see landscape design)
 - ▨ Proposed FFL's to be confirmed by Engineer.
 - ▨ 1 in 3 batter to Engineers design.
 - Proposed Tree Location
 - 1. Adoptable pumping station to engineers design
 - ▨ Existing water mains to be retained with 4m easement to each side.

Acanthus WSM Architects
 The general contractor is responsible for the verification of all dimensions on site and the architect is to be informed of any discrepancy.
 The status of information contained in a computer copy of this drawing shall be limited to that conveyed by the paper copy.
 Revision:
 First Issue:
 MWSH

Leeds Federated

Drawing Status	
<input type="checkbox"/> preliminary	<input checked="" type="checkbox"/> planning
<input type="checkbox"/> information	<input type="checkbox"/> tender
<input type="checkbox"/> contract	<input type="checkbox"/> construction
<input type="checkbox"/> approval	<input type="checkbox"/> records built

Scale: 1:500 @ A1
 Date: May, 2023
 Drawn/Checked: MWSH
 Drawn No: 1420.42.108

**Site Layout
 Owlcotes Road
 Pudsey**

Acanthus WSM Architects
 Studio 11, The Spinnaker, 2 King Charles Street, Leeds LS1 6LS. TEL: 0113 239 3414. E-Mail: architects@acanthuswsm.com





Key:

- Yellow outline: Windows without feature render
- Red outline: Windows with feature render
- Blue outline: Red brick facing brick with feature render and natural finish



Leeds & Federated

Item	Description	Quantity	Unit
1
2
3
4
5
6
7
8
9
10

Materiality
Owlcotes Road
Pudsey

WSM
ARCHITECTS



Front Elevation Facing South
1 : 100



Rear Elevation Facing North
1 : 100



Side Elevation
1 : 100



Side Elevation
1 : 100



Roof Plan
1 : 100



Ground Floor Plan
1 : 100

Material Schedule

- 1. PVC Coating/Trim/Fascia Boards, Half Round Mouldings
- 2. GRC / Fibre reinforced glass through coloured window
- 3. Anthracite Grey (RAL 7016) UPVC Window Frames
- 4. RAS 26 External Concrete Over Colour To Be Confirmed. Local finished aggregate concrete finish.
- 5. Grey Tile Edge/Impression Concrete Road Tiles
- 6. Black UPVC Down Pipes (Decorative Profile) and Black High Wall Gutters
- 7. Black UPVC Fascias
- 8. Flaking Green Detail (Black T&G UPVC Sills)
- 9. Front entrance Anthracite Grey (RAL 7016)
- 10. Frontal brickwork. Colour to match roof tiles.
- 11. Clay tiles plus engobed roof top with random pattern.
- 12. Green Water Bin
- 13. Green Water Bin
- 14. Grey/Blue Ceramic Slipping
- 15. Local tile paving 1200x600mm. 100mm thick local 400x400mm kerb like paving.

10. Acanthus WSM Architects Ltd

The general contractor is responsible for the verification of dimensions on site and the status of information contained in a computer copy of this drawing shall be taken to that contained by the paper copy.

Revisions

Rev	Description	Date	Issued by
P1	Revised drawing with 2D DWG created from 3D model and added to paper drawing	05-04-23	

Leeds Federated

Scale 1 : 100 @ A3
Date 24-02-23
Drawn/Checked MRR / SH
1425-42-AWSM-XX-ES-DR-A-219
Status S2 Rev P1

Plots 1&2 G.A.
plans &
Elevations
Owlcotes road, Pudsey

Acanthus WSM Architects

Studio 11, 110 King Charles Street, Leeds, LS1 1EQ. www.acanthuswsm.com 0113 259 3414. enquiries@acanthuswsm.com

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Rev	Description	Date	Issued by
P1	Drawn and checked by WSM Architects	24-02-23	



Roof Plan
1 : 100



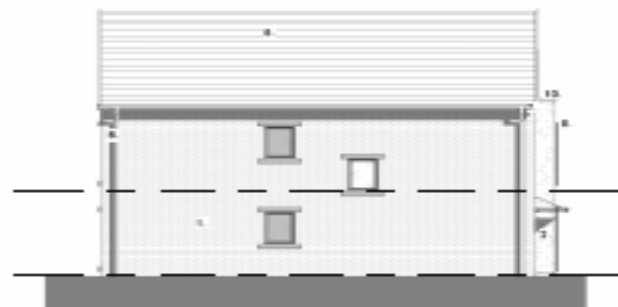
Front Elevation
1 : 100



Side Elevation
1 : 100



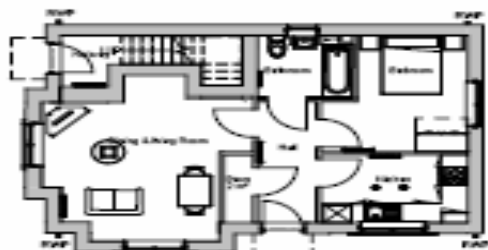
First Floor Plan [Plot 4 & 51]
1 : 100



Rear Elevation
1 : 100



Side Elevation
1 : 100



Ground Floor Plan [Plot 3 & 52]
1 : 100



Material Schedule

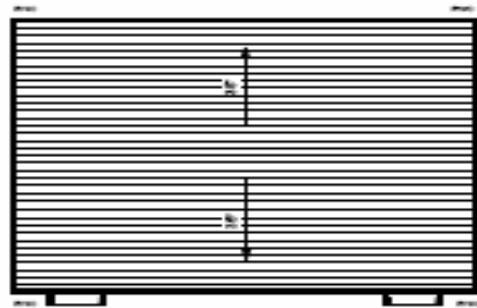
1	UPV Coarse Red Face Brick, White Mortar
2	200mm thick external wall with external insulation
3	External Grey (RAL 7035) UPVC Window Frames
4	UPVC External Composite Door Colour To Be Confirmed/External Composite Door for internal use
5	Grey Trip Step Landing
6	Black UPVC Down Pipe (include P-trap) and Black Half-round Gutter
7	Black UPVC Fascias
8	Black UPVC Soffit
9	Black UPVC Gutter
10	Black UPVC Down Pipe (include P-trap) and Black Half-round Gutter
11	Black UPVC Fascias
12	Black UPVC Soffit
13	Black UPVC Gutter
14	Black UPVC Down Pipe (include P-trap) and Black Half-round Gutter
15	Black UPVC Fascias
16	Black UPVC Soffit
17	Black UPVC Gutter
18	Black UPVC Down Pipe (include P-trap) and Black Half-round Gutter
19	Black UPVC Fascias
20	Black UPVC Soffit
21	Black UPVC Gutter
22	Black UPVC Down Pipe (include P-trap) and Black Half-round Gutter
23	Black UPVC Fascias
24	Black UPVC Soffit
25	Black UPVC Gutter
26	Black UPVC Down Pipe (include P-trap) and Black Half-round Gutter
27	Black UPVC Fascias
28	Black UPVC Soffit
29	Black UPVC Gutter
30	Black UPVC Down Pipe (include P-trap) and Black Half-round Gutter
31	Black UPVC Fascias
32	Black UPVC Soffit
33	Black UPVC Gutter
34	Black UPVC Down Pipe (include P-trap) and Black Half-round Gutter
35	Black UPVC Fascias
36	Black UPVC Soffit
37	Black UPVC Gutter
38	Black UPVC Down Pipe (include P-trap) and Black Half-round Gutter
39	Black UPVC Fascias
40	Black UPVC Soffit
41	Black UPVC Gutter
42	Black UPVC Down Pipe (include P-trap) and Black Half-round Gutter
43	Black UPVC Fascias
44	Black UPVC Soffit
45	Black UPVC Gutter
46	Black UPVC Down Pipe (include P-trap) and Black Half-round Gutter
47	Black UPVC Fascias
48	Black UPVC Soffit
49	Black UPVC Gutter
50	Black UPVC Down Pipe (include P-trap) and Black Half-round Gutter
51	Black UPVC Fascias
52	Black UPVC Soffit
53	Black UPVC Gutter
54	Black UPVC Down Pipe (include P-trap) and Black Half-round Gutter
55	Black UPVC Fascias
56	Black UPVC Soffit
57	Black UPVC Gutter
58	Black UPVC Down Pipe (include P-trap) and Black Half-round Gutter
59	Black UPVC Fascias
60	Black UPVC Soffit
61	Black UPVC Gutter
62	Black UPVC Down Pipe (include P-trap) and Black Half-round Gutter
63	Black UPVC Fascias
64	Black UPVC Soffit
65	Black UPVC Gutter
66	Black UPVC Down Pipe (include P-trap) and Black Half-round Gutter
67	Black UPVC Fascias
68	Black UPVC Soffit
69	Black UPVC Gutter
70	Black UPVC Down Pipe (include P-trap) and Black Half-round Gutter
71	Black UPVC Fascias
72	Black UPVC Soffit
73	Black UPVC Gutter
74	Black UPVC Down Pipe (include P-trap) and Black Half-round Gutter
75	Black UPVC Fascias
76	Black UPVC Soffit
77	Black UPVC Gutter
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80	Black UPVC Soffit
81	Black UPVC Gutter
82	Black UPVC Down Pipe (include P-trap) and Black Half-round Gutter
83	Black UPVC Fascias
84	Black UPVC Soffit
85	Black UPVC Gutter
86	Black UPVC Down Pipe (include P-trap) and Black Half-round Gutter
87	Black UPVC Fascias
88	Black UPVC Soffit
89	Black UPVC Gutter
90	Black UPVC Down Pipe (include P-trap) and Black Half-round Gutter
91	Black UPVC Fascias
92	Black UPVC Soffit
93	Black UPVC Gutter
94	Black UPVC Down Pipe (include P-trap) and Black Half-round Gutter
95	Black UPVC Fascias
96	Black UPVC Soffit
97	Black UPVC Gutter
98	Black UPVC Down Pipe (include P-trap) and Black Half-round Gutter
99	Black UPVC Fascias
100	Black UPVC Soffit

Plots 3&4,
51&52 G.A.
plans &
Elevations
Owlcotes road, Pudsey

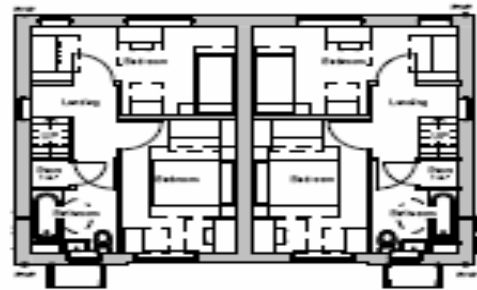
Scale 1:100
 Date 24-02-23
 Drawn/Checked MRC / JSM
 Status S2 Rev P1
 1428-42-WSM-22-ES-DR-A-211
 Scale 1:1, 210g Charles Street, Leeds, LS2 9LJ www.aacanthus.com 0113 208 3414 wsm@acanthus.com

Leeds Federated
 Scale 1 : 100 @ A3
 Date 24-02-23
 Drawn/Checked MRC / JSM
 1428-42-WSM-22-ES-DR-A-211
 Status S2 Rev P1

Acanthus WSM Architects



Roof Plan
1 : 100



First Floor Plan
1 : 100



Ground Floor Plan
1 : 100



Front Elevation
1 : 100

Side Elevation
1 : 100



Rear Elevation
1 : 100

Side Elevation
1 : 100

Material Schedule

- 1.1 Quality Red Faced Brick, with Natural Glaze
2. 1200x750mm approx of white Acrylic on wall and ceiling
3. 100mm wide Grey (RAL 7016) UPVC Window Frames
4. 100mm UPVC External Composite Door Colour To Be Confirmed. Lateral Swivel to permit access to car.
5. Grey Flat Edge Acrylic on Living Room and Kitchen
6. 100mm UPVC Down Pipes (Black Finish) and Black Rainwater Gutters
7. Black UPVC Porch
8. 100mm UPVC External Composite Door Colour To Be Confirmed
9. 100mm UPVC External Composite Door Colour To Be Confirmed
10. 100mm UPVC External Composite Door Colour To Be Confirmed
11. 100mm UPVC External Composite Door Colour To Be Confirmed
12. 100mm UPVC External Composite Door Colour To Be Confirmed
13. 100mm UPVC External Composite Door Colour To Be Confirmed
14. 100mm UPVC External Composite Door Colour To Be Confirmed

Gas Meter Box
 Electric Meter Box
 100mm UPVC External Composite Door Colour To Be Confirmed
 100mm UPVC External Composite Door Colour To Be Confirmed

Plots 43,44 & 53,54 G.A. plans & Elevations

Owlcotes road, Pudsey

Scale 1:100 @ A3 Date 24-02-23 Drawn/Checked MBRG / JSH 1428-42-WSM-2.0-ES-DR-A-2311 Status S2 Rev P2

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 The general contractor is responsible for the verification of all dimensions and details. The client is to be informed of any discrepancy. The validity of information contained in a computerized file shall be limited to the date of the print out.

Revisions

Rev	Description	Date	Issued by
P1	Issue for approval of the	24-02-23	MBRG/JSH
P2	Final approval	24-02-23	MBRG/JSH

Leeds Federated

Scale 1 : 100 @ A3
 Date 24-02-23
 Drawn/Checked MBRG / JSH
 1428-42-WSM-2.0-ES-DR-A-2311
 Status S2 Rev P2

Acanthus WSM Architects



Front Elevation
1 : 100



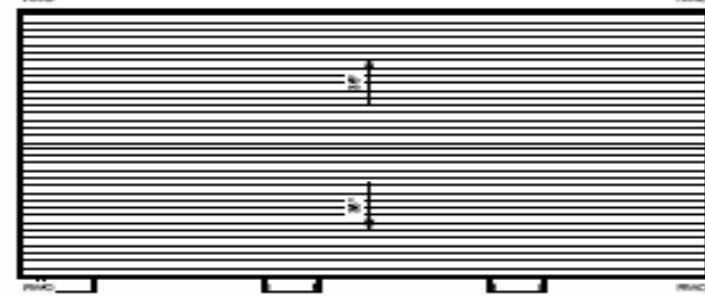
Rear Elevation
1 : 100



Side Elevation
1 : 100



Side Elevation
1 : 100



Roof Plan
1 : 100



First Floor Plan
1 : 100



Ground Floor
1 : 100

10. Acanthus WSM Architects Ltd
The general contractor is responsible for the verification of all dimensions on site and to be included in the Bill of Materials. The status of information contained in a computer copy of this drawing shall be limited to that compiled by the print copy.

Revisions

Rev	Description	Date	Issued by
P1	Drawn and checked in accordance with the approved drawings of the property.	03/04/20	WJG/CL

- Material Schedule**
- 1.1. Quality Roof Tiles (Black), 100% Natural Slates
 2. 1200x1800mm approved Traffic Tough coloured kerbs
 3. Smooth grey (RAL 7016) UPVC window frames
 4. 1200x1800mm approved Composite Door Colour To Be Confirmed. Local Residents required to access site.
 5. Grey T100 Edge Reinforcing Concrete Footings
 6. 1200x1800mm approved Plywood/Particle Board and Block Wall (where applicable)
 7. Black UPVC Frontals
 8. White PVC Coated Steel Mesh T&G UPVC Deck
 9. Floor metal frames Anthracite Grey (RAL 7016)
 10. Powder metal roofing. Colour to match roof tiles
 11. 1200x1800mm approved concrete with visible steel fixings
 12. Gas Meter Box
 13. Electric Meter Box
 14. 1200x1800mm approved Plywood/Particle Board and Block Wall (where applicable)
 15. Anthracite grey 100% opaque, 100% natural kerbs (RAL 7016) behind kerbstone



Scale	As indicated @A3
Date	24-03-20
Drawn/Checked	WJG/CL
1425-42-WSM-SX-ES-DR-A-219	
Scale	S2
Rev	P1

Plots 45-50
G.A. plans & Elevations
Owlcotes road, Pudsey



General Notes
All notes, headings, titles, and dimensions are shown in millimetres.

Studio 11, 710gg, Church Street, Leeds, LS1 6JG | www.acanthuswsm.co.uk | 0113 232 3414 | email: info@acanthuswsm.co.uk









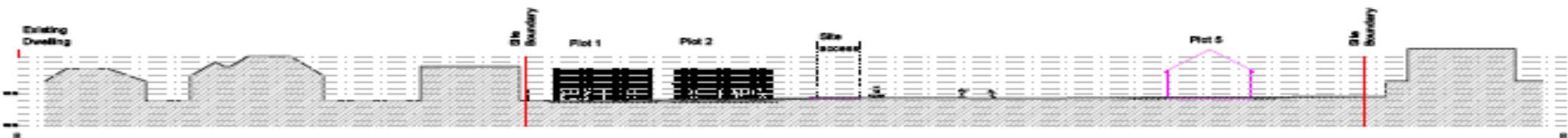
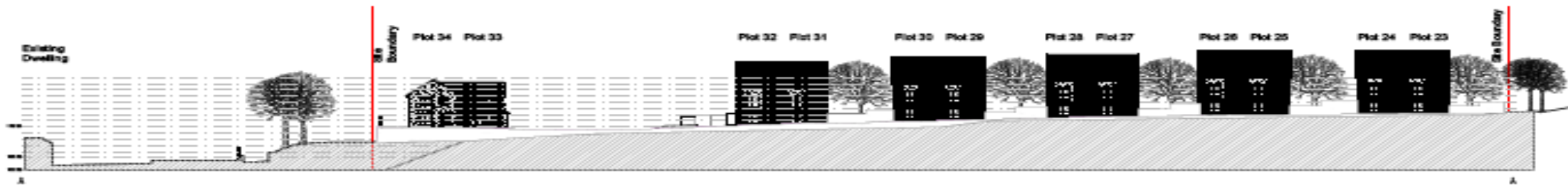
Page 60







Construction Details
 The drawings shall be read in accordance with the following notes:
 1. All dimensions are in millimetres unless otherwise stated.
 2. The site is situated within the Leeds City Council area.
 3. The drawings are the property of WSM Architects and shall not be used for any other purpose without the written consent of WSM Architects.
Author: WSM Architects
Date: 12/06/2014
Scale: 1:100
Sheet: 1 of 1
 Drawn & approved: WSM Architects



Page 54

**Proposed
 Site Sections**
 Owlcotes Road
 Pudsey

Leeds & Federated

Author:	W.S.M. Architects
Date:	12/06/2014
Scale:	1:100
Sheet:	1 of 1
Drawn & approved:	W.S.M. Architects

W.S.M. Architects

APPLICATION: 22/07648/FU

**PROPOSAL: Erection of a 120 capacity
Wedding Venue, 40 Holiday Lodges, and a
Cafe/Community Hub building**

**ADDRESS: Fleet Lane
Oulton
Leeds
LS26**







- Proposed Commercial Street Planting
- Proposed Local Street Planting
- Proposed Internal Street Planting
- Proposed Internal Open Space Planting
- Proposed Planting
- Proposed Trees
- Proposed Local Street Planting with a mix of species and sizes
- Local Planting











East



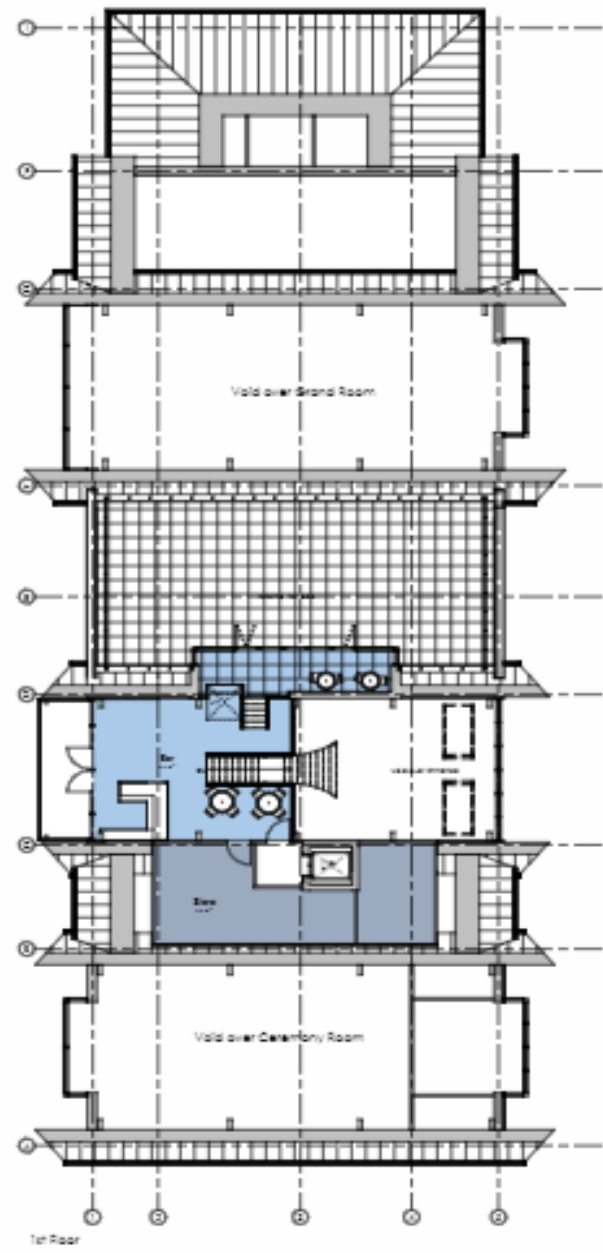
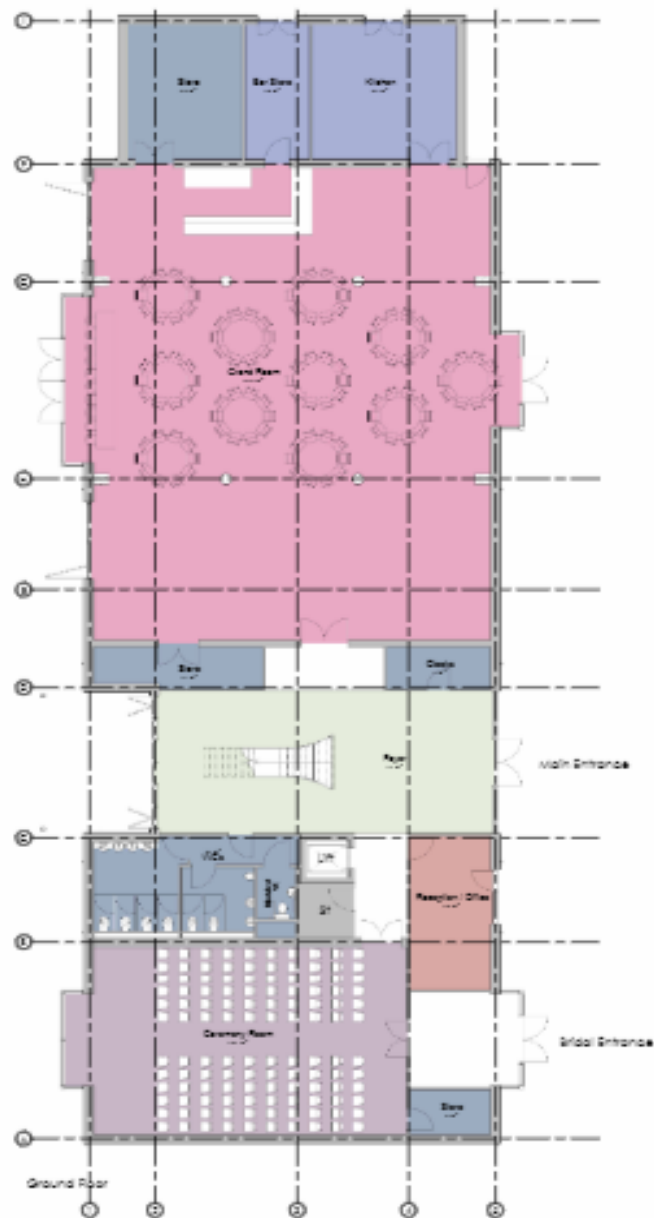
South



North



West











North



East



South



West

Materials Schedule

- | | |
|--|---|
| ① Stone to approved sample | ⑥ Double Glazed Door to approved sample |
| ② Sedum Roof | ⑦ Black UPVC Rainwater Goods |
| ③ Cedar Eaves / Soffit | ⑧ Glass Balustrade |
| ④ Double Glazed Window to approved sample | ⑨ Double Glazed Door to approved sample |
| ⑤ Cedar Cement Cladding to approved sample | |



0 Ground Floor



3D View 1



North



East



South



West

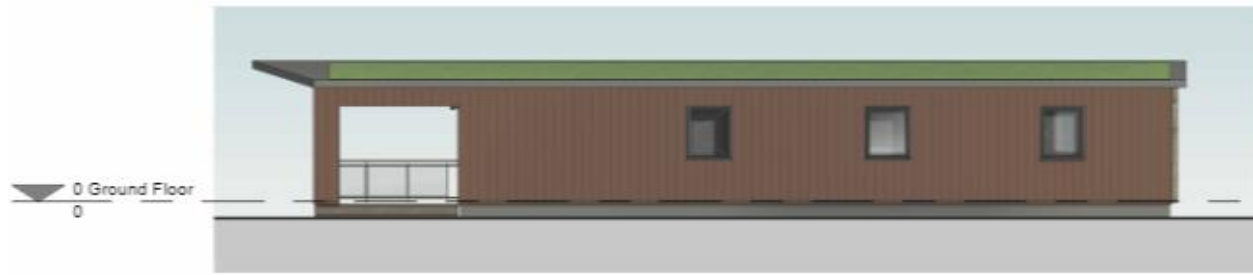
Materials Schedule

- | | |
|--|---|
| ① Stone to approved sample | ⑥ Double Glazed Door to approved sample |
| ② Sedum Roof | ⑦ Black UPVC Rainwater Goods |
| ③ Cedar Eaves / Soffit | ⑧ Glass Balustrade |
| ④ Double Glazed Window to approved sample | ⑨ Double Glazed Door to approved sample |
| ⑤ Cedar Cement Cladding to approved sample | |





North



South



East



West

Materials Schedule

- ① Stone to approved sample
- ② Sedum Roof
- ③ Cedar Eaves / Soffit
- ④ Double Glazed Window to approved sample
- ⑤ Cedar Cement Cladding to approved sample
- ⑥ Double Glazed Door to approved sample
- ⑦ Black UPVC Rainwater Goods
- ⑧ Glass Balustrade
- ⑨ Double Glazed Door to approved sample

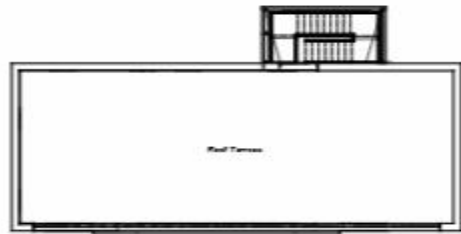


0 Ground Floor



3D View 1





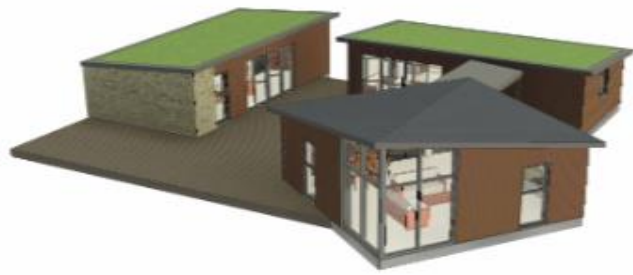
⑥ 1 Roof Terrace
1:100



⑤ 0 Ground Floor
1:100



3D View 1



3D View 2

3D View 1





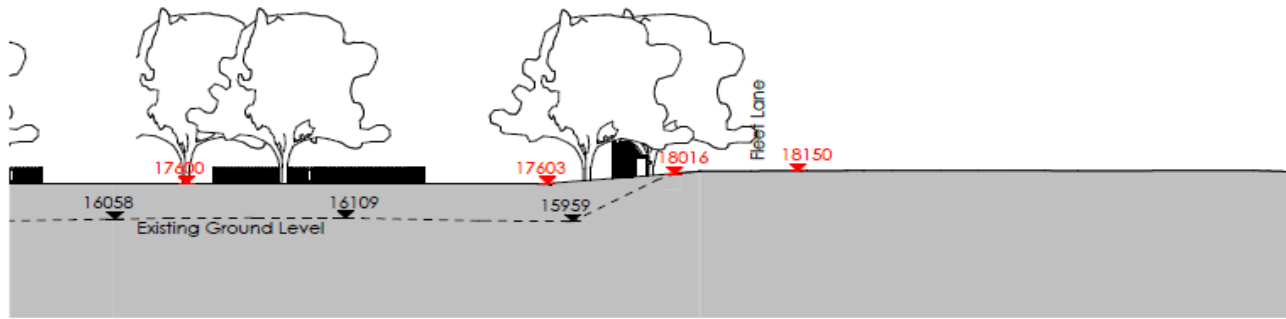
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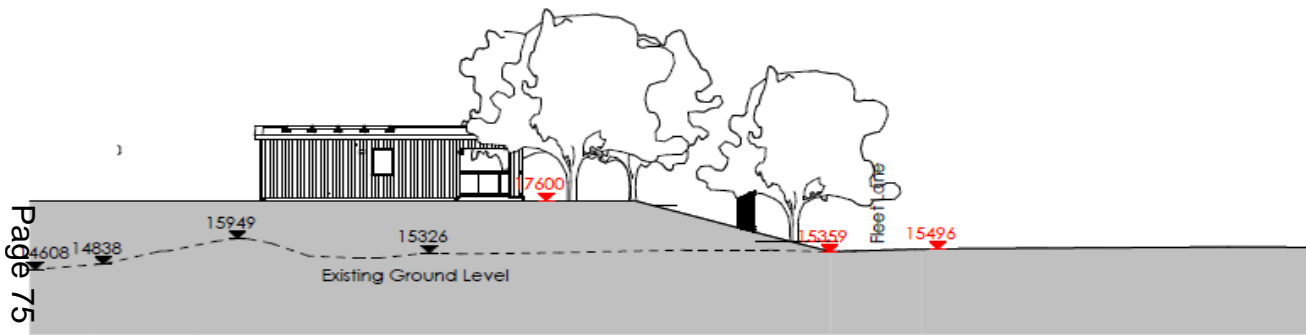
Page 74



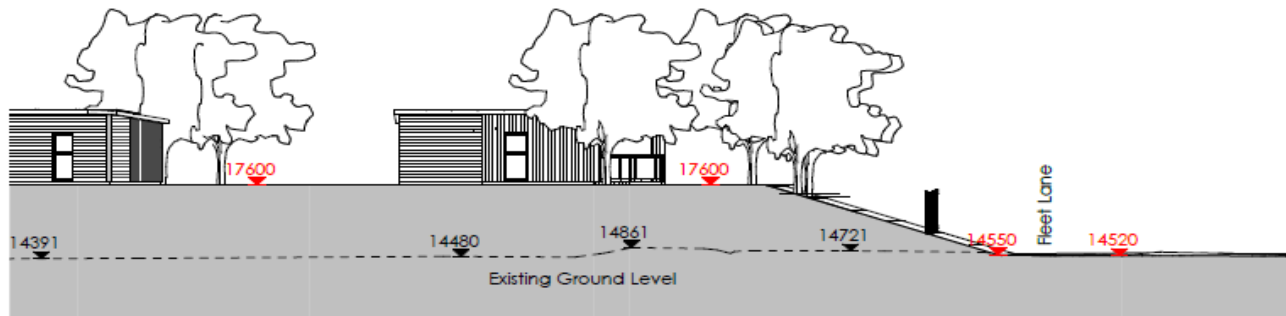
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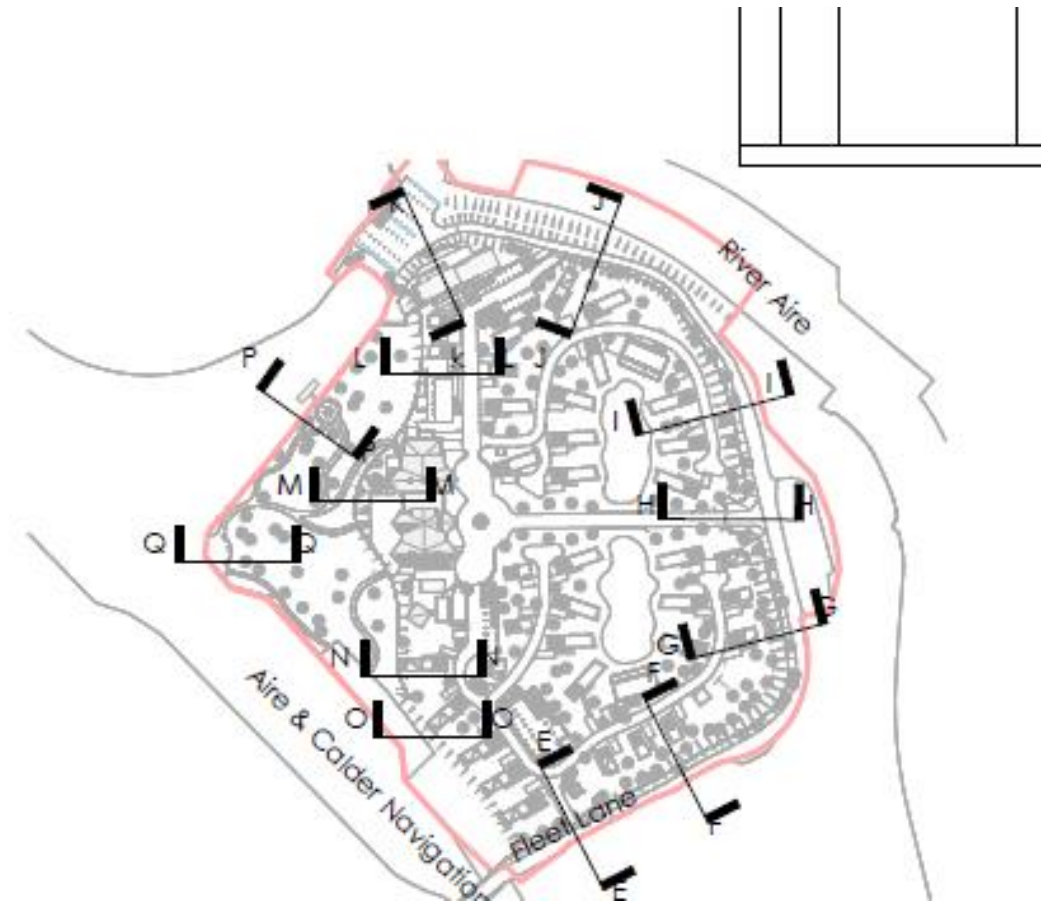
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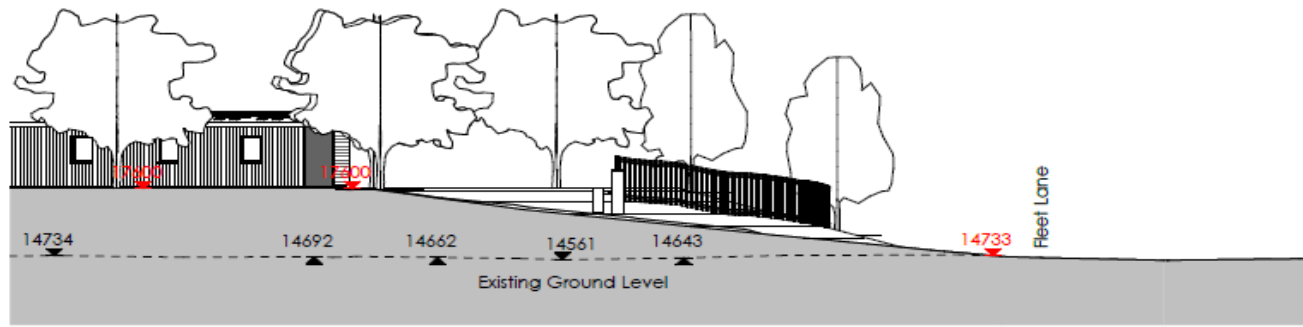


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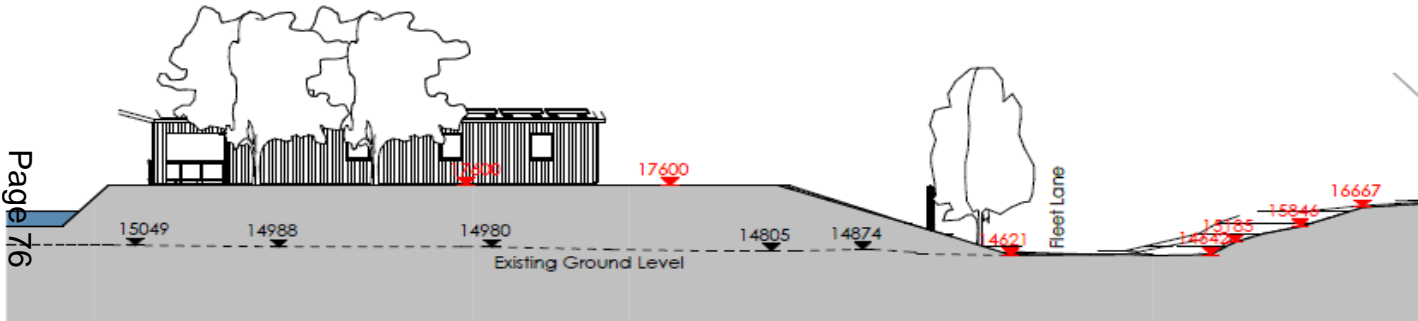


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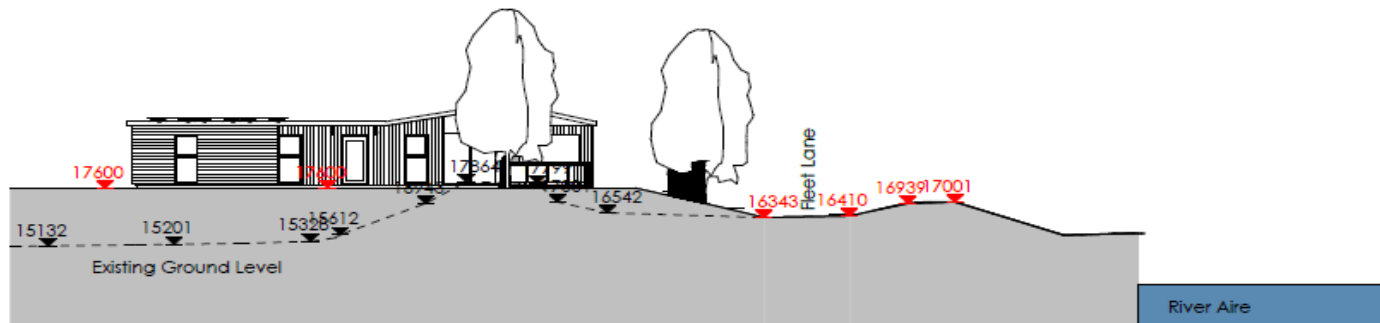




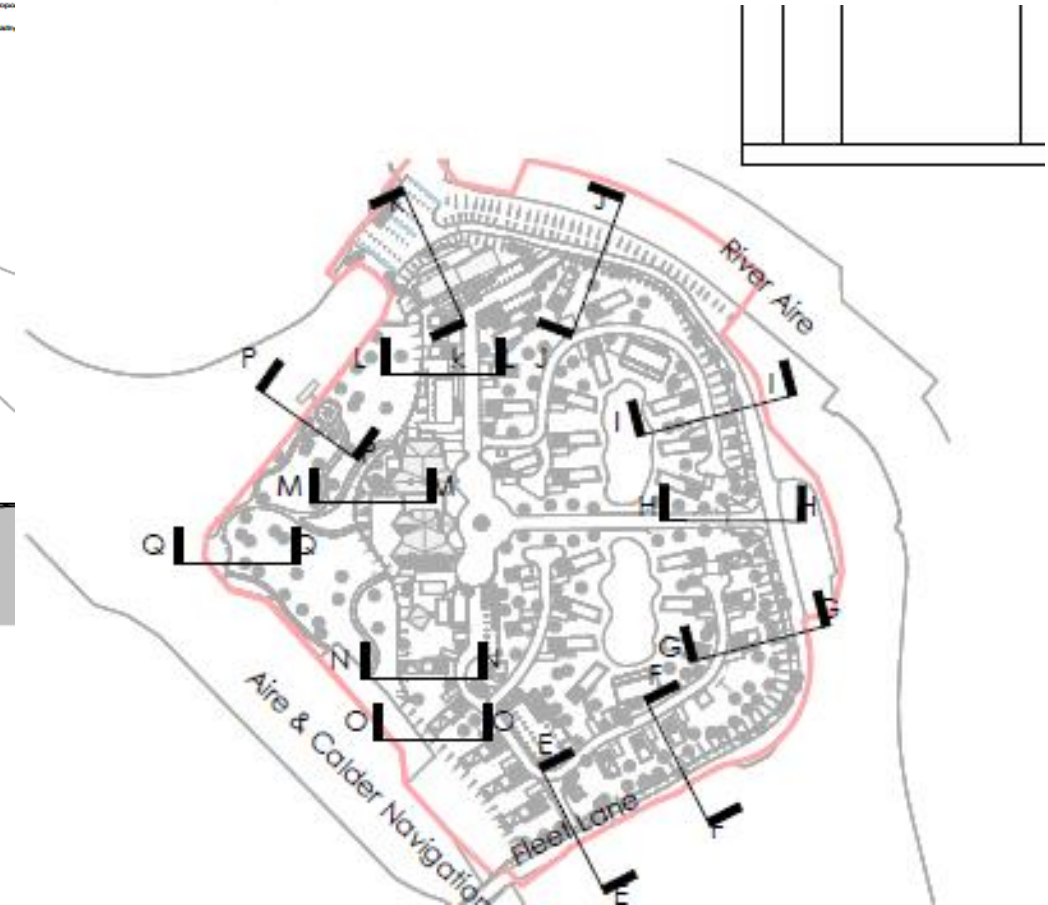
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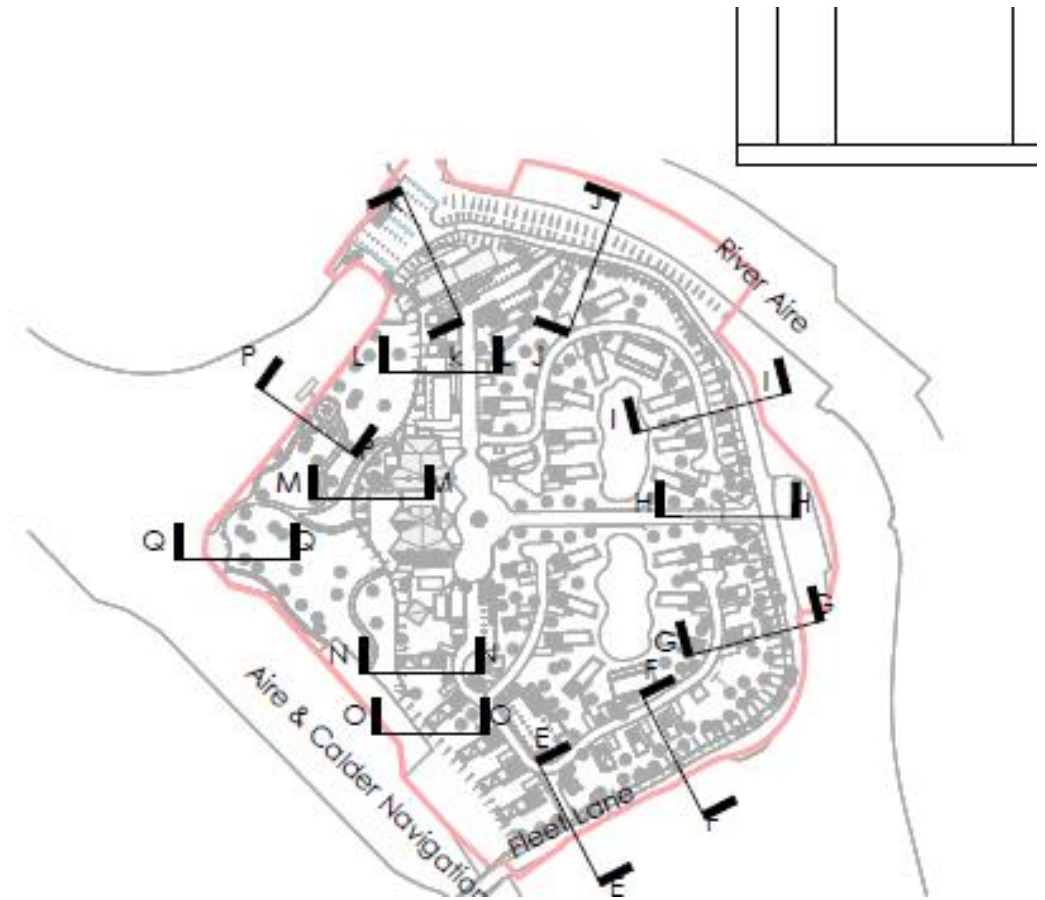
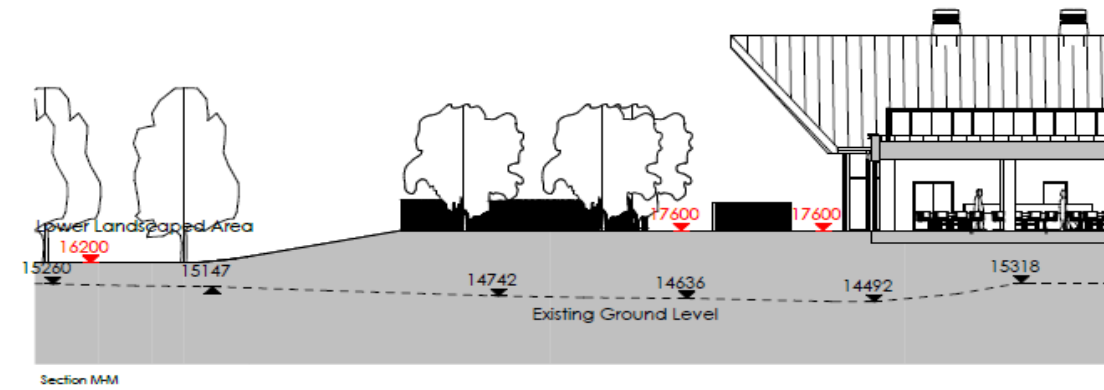
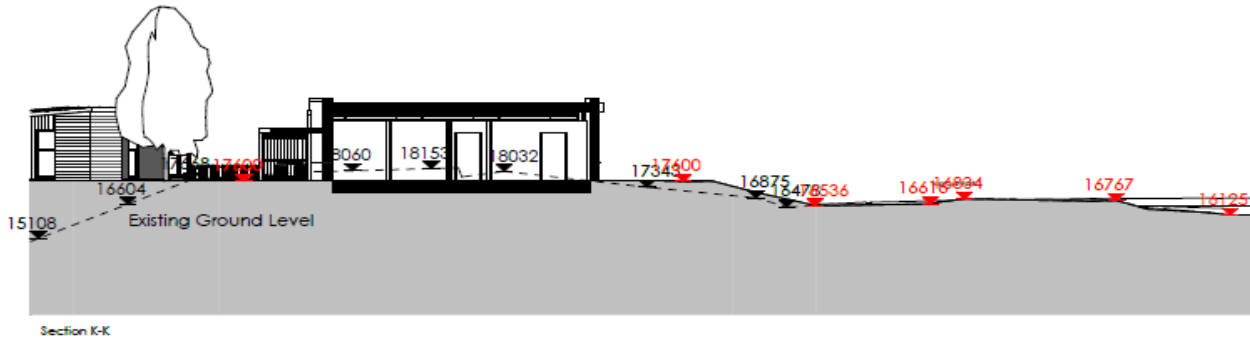


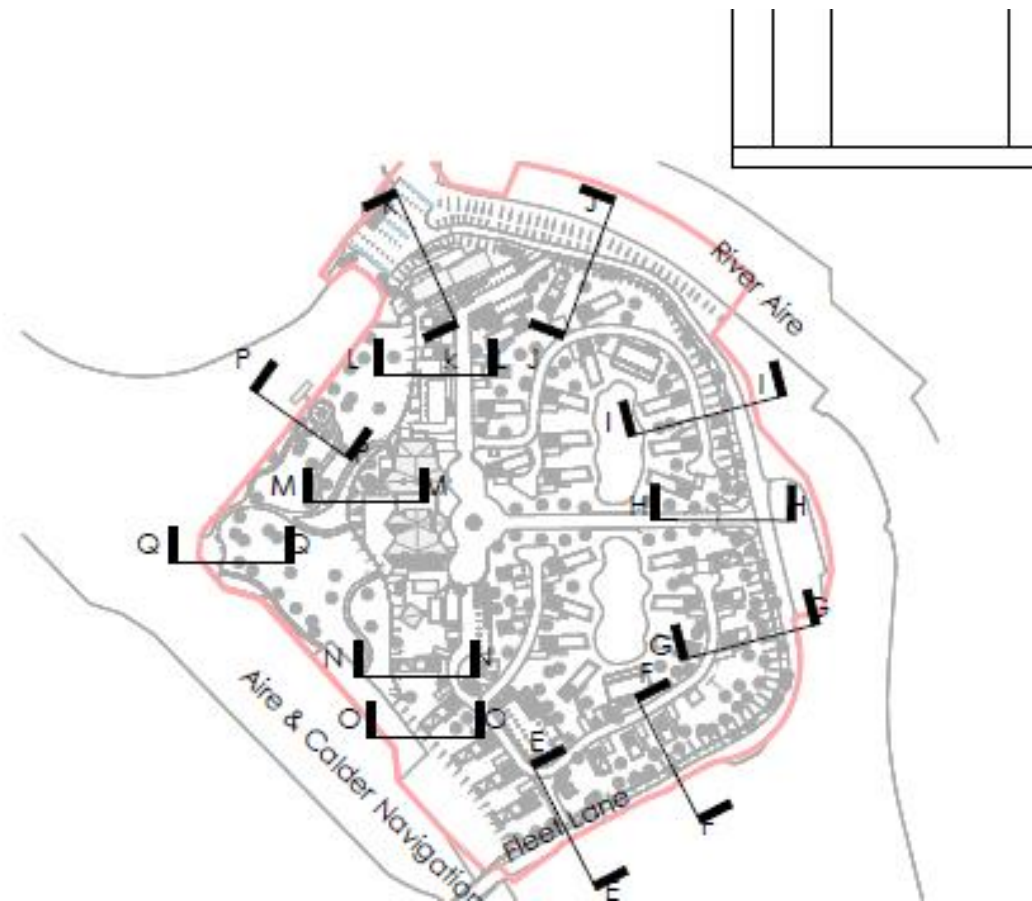
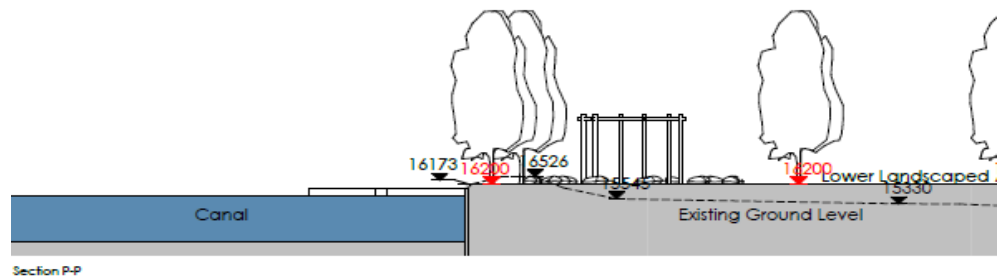
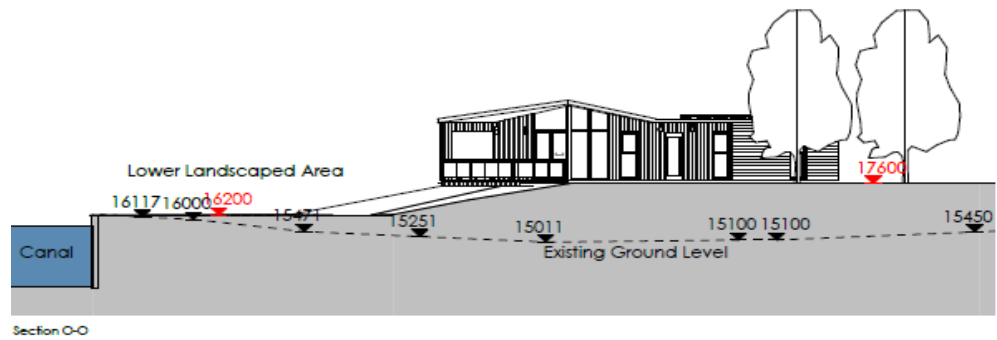
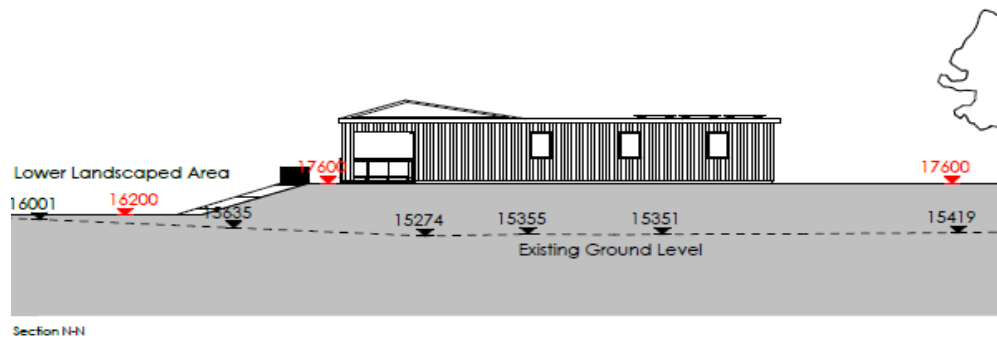
Section H



Section J-J













SOUTH & WEST PLANS PANEL

THURSDAY 28th September 2023

END OF PRESENTATION

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